

LAOIS COUNTY COUNCIL

PLANNING DEPARTMENT

PLANNING REPORT

PLANNING REF: 26/60515



Applicant Name:	Deirdre Baker
Development Description:	Retain (1) amendments to front and side elevations, (2) attic conversion (3) the domestic garage and (4) all associated site works
Development Address:	Bellair, Clonaslee, Co. Laois, R32 Y0C1
Type of Permission:	Retention
Date of Site Inspection:	11/09/2026
Decision Due Date:	20/09/2026
Recommendation:	Grant with Conditions

Site Location / Context:

The subject site comprises approximately 0.417 hectares and is located within the rural townland of Bellair or Cappanapinion, approximately 0.4 km east of Clonaslee. The site is accessed via Strategic Regional Road R-422 and contains an existing detached storey and half dwelling and garage. The site is generally flat in topography. Residential dwellings are located on either side of the site, with the surrounding area characterised by ribbon-style residential development interspersed with agricultural lands.



Figure 1 – Extract of Site Location map

Proposed Development:

Permission is sought to retain (1) amendments to front and side elevations, (2) attic conversion (3) the domestic garage and (4) all associated site works.

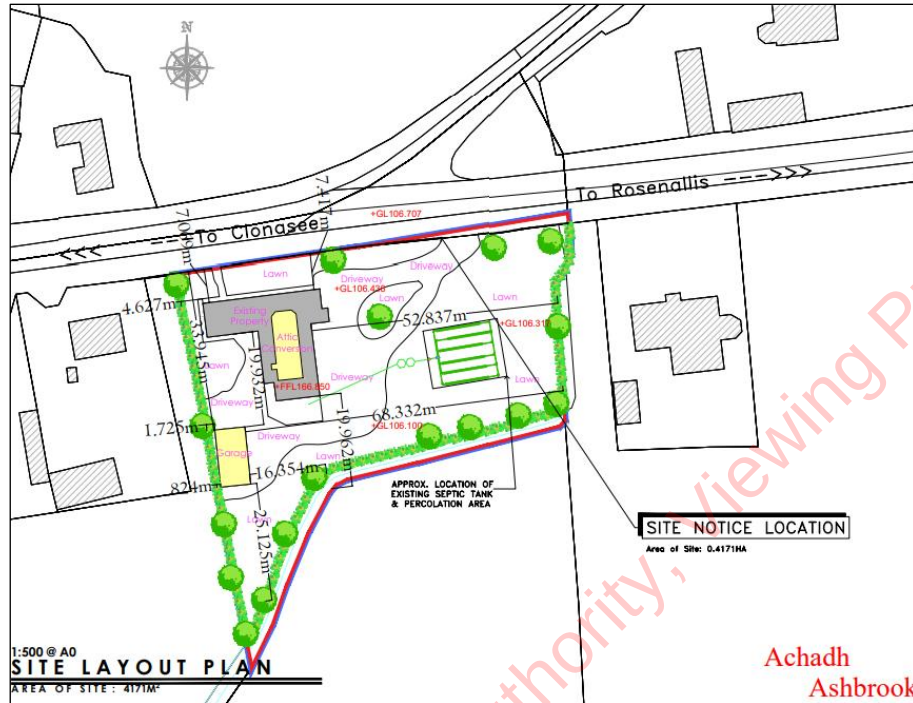


Figure 2 – Extract of Site Layout Plan

AA Screening:

A screening for an Appropriate Assessment Report was prepared and is appended to this report. It concludes that no likely significant impacts are predicted due to the nature of the development.

EIA Screening:

The development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001 (as amended). In any event, it is considered that, having regard to nature, size and location, the development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

Zoning:

The subject site is located within an area identified as “Structural Weak Area” in the Laois County Development Plan (LCDP) 2021-2027.

Flood Risk:

The site is not within the critical Flood Zones A and B, as indicated on the Strategic Flood Risk Assessment of the Laois County Development Plan 2021 – 2027.

Archaeological and Architectural Heritage:

The site does not fall within any archaeological areas. There are no Protected Structures or Recorded Monuments on or adjacent to the site.

Submissions/ Observations / Representations:

The last date for receipt of submissions/observations/representations was 30/08/2026. None were received by the Planning Authority.

Pre-planning:

No pre-planning consultation was held in respect of this application.

Planning History:

07/217 **Planning permission granted** to Deirdre & Wayne Baker for to erect an extension to existing dwelling house, installation of sewerage treatment system and a new entrance.

Referrals:

This application was referred to the following, with a summary of the reports received indicated below.

Internal Reports:

Municipal District Engineer;	No objection.
Road Design;	No objection, subject to conditions.

Policy and Objectives:

National Planning Framework

- National Policy Objective 19
- National Policy Objective 20

Laois County Development Plan (LCDP) 2021-2027

Appendix 7 of the Laois County Development Plan 2021 – 2027 relates to rural design guidance and is relevant in the assessment of this application.

Sustainable Rural Housing – Guidelines for Planning Authorities

Summary of Key Planning Issues and Assessment:

Zoning

The site is located in “Structural Weak Area”. This matter is not relevant in the consideration of this application to retain amendments to front and side elevations, attic conversion and the domestic garage.

Siting, Design and Layout:

The alterations to the permitted dwelling are considered to be relatively modest in nature. An enclosed porch has been constructed on the front elevation, projecting approximately 1.3 metres beyond the original front building line, with an overall height of approximately 3.89 metres above finished floor level. The permitted bay window has also been removed and replaced with a conventional window of a type and proportion consistent with those used elsewhere throughout the dwelling. On the southern elevation, a large horizontal window has been replaced with a double-door opening, incorporating sidelights on either side and providing access to an adjoining patio area. The attic has been converted for use as a storage area, with rooflights installed within the western roof plane. In addition, the ridge level of the rear section of the dwelling has been raised to align with the principal roof ridge. Its design, scale and siting are considered to be acceptable and in accordance with the Laois County Development Plan 2021-2027.

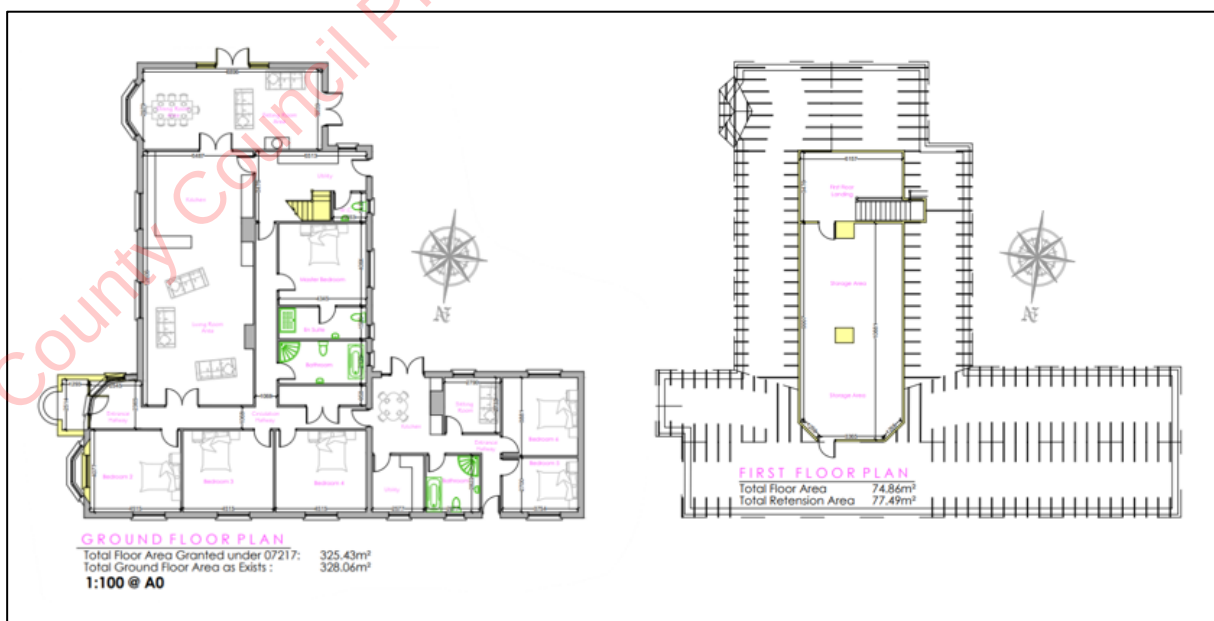


Figure 3: Extract of Existing Floor Plans of Dwelling



Figure 4: Extract of Existing Elevations of Dwelling

The garage has a floor area of approximately 62.44 sqm. and is constructed with a smooth render external finish and concrete roof tiles. The structure comprises two large internal compartments and one smaller compartment, with an internal door providing access between the two larger areas. The building is located to the rear of the dwelling, adjacent to the western site boundary. Its design, scale and siting are considered to be acceptable and in accordance with the Laois County Development Plan 2021-2027.

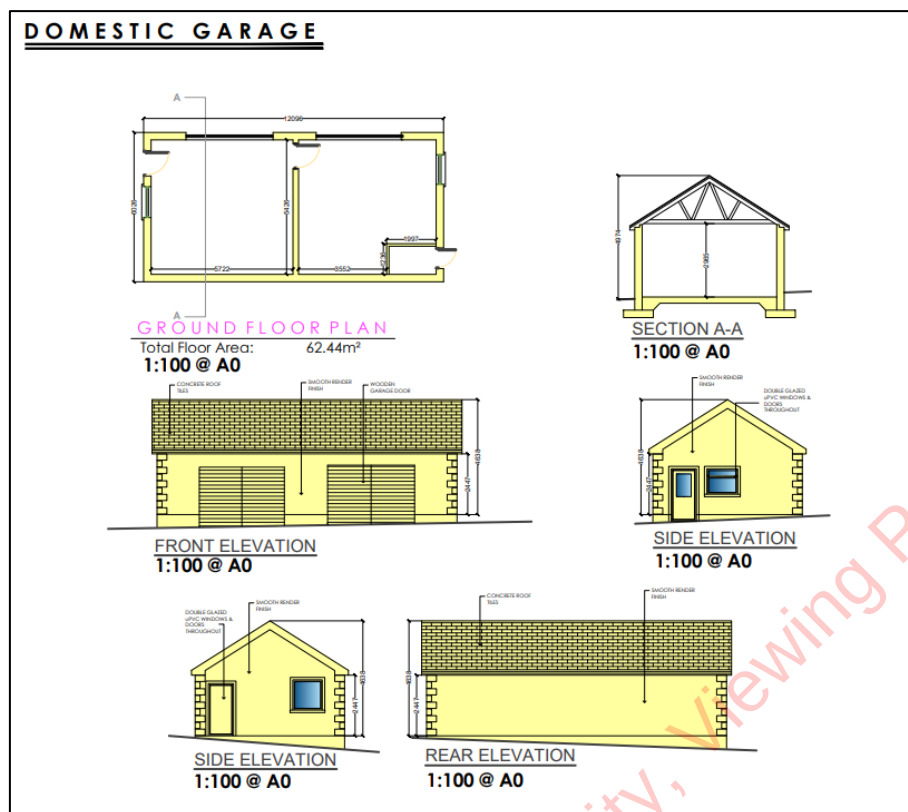


Figure 5: Extract of Existing Plan and Elevations of Garage

Given the separation from neighbouring properties, I do not consider that the development would have an adverse impact on the amenities of adjoining properties through undue overlooking, undue overshadowing and/or an over-dominant visual impact.

Overall, the application is in accordance with the Laois County Development Plan 2021-2027.

Services

No service alterations are proposed.

Access

No access arrangements are proposed.

Contributions:

Should planning permission be granted, a financial contribution condition will be included as per the Council's adopted Development Contribution Scheme (DCS), 2025-2031.

The retention of the porch area, attic conversion and garage shall be assessed separately under the “**Ancillary Residential**” category. In accordance with Section 9.7, no exemption or waiver shall apply to the retention element of the development.

Conclusion:

Having assessed the application submitted in conjunction with the internal reports of Laois County Council and the policies outlined in the Laois County Development Plan 2021-2027, it is considered reasonable in this instance to permit the development subject to conditions.

Recommendation:

It is recommended that permission is granted subject to conditions.

FIRST SCHEDULE

Having regard to the provisions of the Laois County Development Plan 2021 – 2027, it is considered that, subject to compliance with the conditions set out in the Second Schedule, the development would not seriously injure the amenities of the area, would not be prejudicial to public health, would be acceptable in terms of traffic safety and would be in accordance with the proper planning and sustainable development of the area.

SECOND SCHEDULE

1. The development shall be retained in accordance with plans and particulars received by the Planning Authority on 27/07/2026, except where altered or amended by conditions in this permission.

Reason: In the interests of proper planning and sustainable development of the area.

2. (a) The overall site shall be used for domestic-related purposes only, and not for any commercial, workshop, or other non-domestic use.

(b) The garage shall not be used for human habitation, any commercial, workshop or other non-domestic use or for any other purpose other than a purpose incidental to the enjoyment of the dwelling on the site.

Reason: In the interests of clarity and to regulate the use of the development in the interest of the proper planning and sustainable development of the area.

3. (a) All surface water run-off from roofs, entrances and parking areas shall be collected and disposed of within the site to soakpits, drains or adjacent watercourses. In particular, no such surface water run-off shall be allowed to flow onto the public roadway or adjoining properties.

(b) Existing land or road drainage shall not be impaired by the development.

Reason: To prevent flooding of the public road, in the interests of traffic safety and in the interests of public health.

4. On the grant of this permission, a contribution shall be payable to Laois County Council, in accordance with the Council's Development Contribution Scheme 2025-2031 in respect of public infrastructure and facilities benefiting development in the area of the planning authority, and that is provided or that it is intended will be provided by, or on behalf of, the Council.

The amount of the development contribution is set out below and is subject to annual revision with reference to the Wholesale Price Index (Building and Construction), and penalty interest for late payment, in accordance with the terms of the Council's Development Contribution Scheme: -

The development is classified as **Ancillary Residential** as per the Laois County Development Plan 2021-2027 and the Local Area Plans for Portlaoise, Portarlington, Mountmellick and Graiguecullen.

Ancillary Residential	Floor area	<u>Charge</u>	Total per Contribution
Transport and Roads Infrastructure	140	€9.00	€1,260.00
Social and Community Infrastructure, Regeneration and Amenities	140	€6.00	€840.00
Total Development Contributions			€2,100.00

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred or proposed to be incurred by Laois County Council in respect of

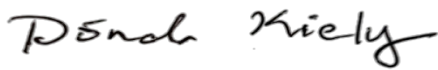
the provision/improvement of public services/infrastructure benefiting development in the area of the planning authority.



Bryan Scully

Assistant Planner

15th September 2026



Senior Executive Planner, 15/09/2026

DB 15/09/2026

ANNEX 1

APPROPRIATE ASSESSMENT SCREENING REPORT

APPROPRIATE ASSESSMENT SCREENING REPORT AND DETERMINATION			
(A) Project Details			
Planning File Ref	26/60515		
Applicant name	Deirdre Baker		
Development Location	Bellair, Clonaslee, Co. Laois, R32 Y0C1		
Site size	0.417Ha		
Application accompanied by an EIAR (Yes/No)	No		
Distance from Natura 2000 site in km	The nearest Natura 2000 site is the Slieve Bloom Mountains SPA, which is located c. 1km south of the subject site.		
Description of the project/proposed development			
Retain (1) amendments to front and side elevations, (2) attic conversion (3) the domestic garage and (4) all associated site works.			
(B) Identification of Natura 2000 sites which may be impacted by the proposed development			
			Yes/No If answer is yes, identify list name of Natura 2000 site likely to be impacted.
1	Impacts on sites designated for freshwater habitats or species. Sites to consider: River Barrow and Nore	<i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i>	No
2	Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath. <u>Sites to consider:</u> River Barrow and Nore	<i>Is the development within a Special Area of Conservation whose qualifying interests include wetland habitats (bog, marsh, fen or heath)</i>	No

3	Impacts on designated terrestrial habitats. <u>Sites to consider:</u> River Barrow and Nore	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	No
4	Impacts on birds in SPAs <u>Sites to consider:</u> River Nore	<i>Is the development within a Special Protection Area?</i>	No

Conclusion:

If the answer to all of the above is No, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is Yes refer to the relevant sections of **C**.

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		
Having regard to the proximity of the nearest Natura 2000 site and given the nature and extent of the development, it is not considered there would be potential for significant effects on the Natura 2000 network.		
Name:	Bryan Scully	
Position:	Assistant Planner	
Date:	15/09/2026	