

**LAOIS COUNTY COUNCIL
PLANNING DEPARTMENT**

PLANNING REPORT



PLANNING REF: 26/60510

Applicant Name:	Tommy Burke
Development Description:	change of use of an existing adjoining domestic garage to use as a habitable part of my dwelling and all associated site works
Development Address:	Shrule, Co. Laois
Type of Permission:	Permission
Date of Site Inspection:	08/09/2026
Decision Due Date:	17/09/2026
Recommendation:	Grant Permission

Site Description

The 0.42ha site (as defined the land within the red line boundary) is located within the rural townland of Shrule and comprises the existing detached dwelling with areas of hard standing, garden and mature landscaping. The site is adjoined by one-off dwellings and agricultural land.

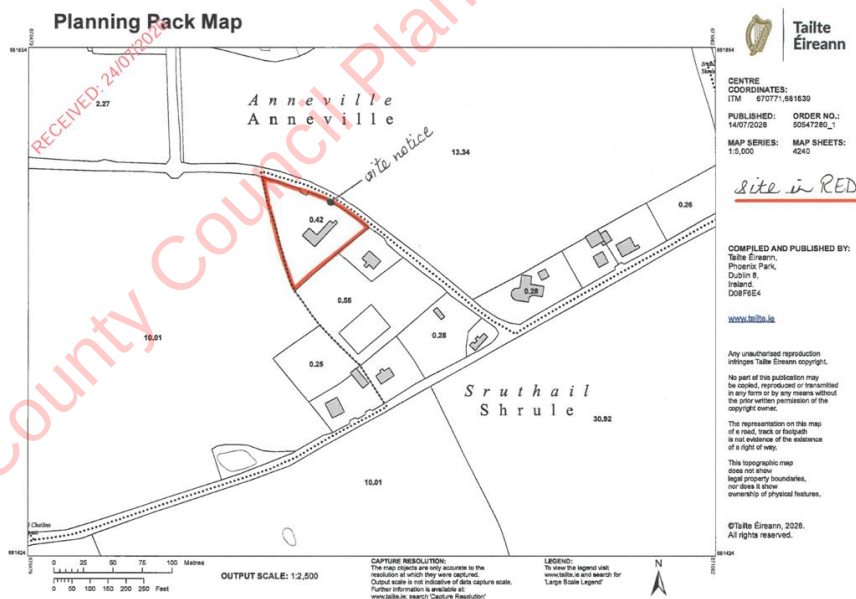


Figure 1: Site Location

Proposed Development

Permission is sought to change of use of an existing adjoining domestic garage to use as a habitable part of my dwelling and all associated site works.



Figure 2: Proposed Layout

AA Screening

A screening for Appropriate Assessment Report was prepared and is appended to this report. It concludes that no likely significant impacts are predicted due to the nature of the proposed development.

EIA Screening

The proposed development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001(as amended). In any event, it is considered, having regard to nature, size and location, the proposed development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

Archaeological and Architectural Heritage

The site is not within an Archaeological Zone or Architectural Conservation Area. There are no Protected Structures or Recorded Monuments on or adjacent to the site.

Flood Risk

The site is outside the confines of the Flood Zone.

Landscape Character

The site is located within the lowland agricultural landscape character area.

Planning History

19/463: retain a first floor dormer style conversion to existing dwelling and location of dwelling on site, a sun room to the side, double garage connected to dwelling house and permission for two no. first floor windows and all associated site works. Conditional

86/537: Permission granted for the erection of a dwellinghouse at Shrule.

466/81 – Erection of dwellinghouse and septic tank at Shrule.

80/811: Outline permission granted for the erection of a dwellinghouse and septic tank at Shrule.

Pre-planning

No pre-planning discussions have taken place in relation to this proposal.

Submissions/ Observations / Representations

None received by the Planning Authority.

Referrals

MD Engineer: The applicant shall demonstrate on a revised site layout plan 90m sightlines in both directions as outlined in the Laois County Council Roads and Parking Standards. The applicant shall use a 3.0m setback distance and show the extent of existing boundary hedge and embankment removal as the roads department have concerns over the visibility splays and the intensification of the use of the entrance associated with the proposed development.

Policy and Objectives

Laois County Development Plan (LCDP) 2021-2027

Assessment

Design / Layout

Permission is sought to change of use of an existing adjoining domestic garage to use as a habitable part of my dwelling and all associated site works.

The proposed conversion has a floor area of 44.34sqm. The applicant is proposing to replace the 2 no. existing garage doors with 4 no. windows with vertical emphasis. Having visited the site and reviewed the submitted plans, I consider the design of the proposal to be satisfactory. The proposal would represent a sympathetic addition that would complement and enhance the existing dwelling.

Having regard to the siting and layout of the development there are no undue concerns regarding residential amenity. Given the separation from neighbouring properties, I do not consider that the development would have an adverse impact on the amenities of

adjoining properties through undue over-looking, overshadowing and/or an over dominant visual impact.

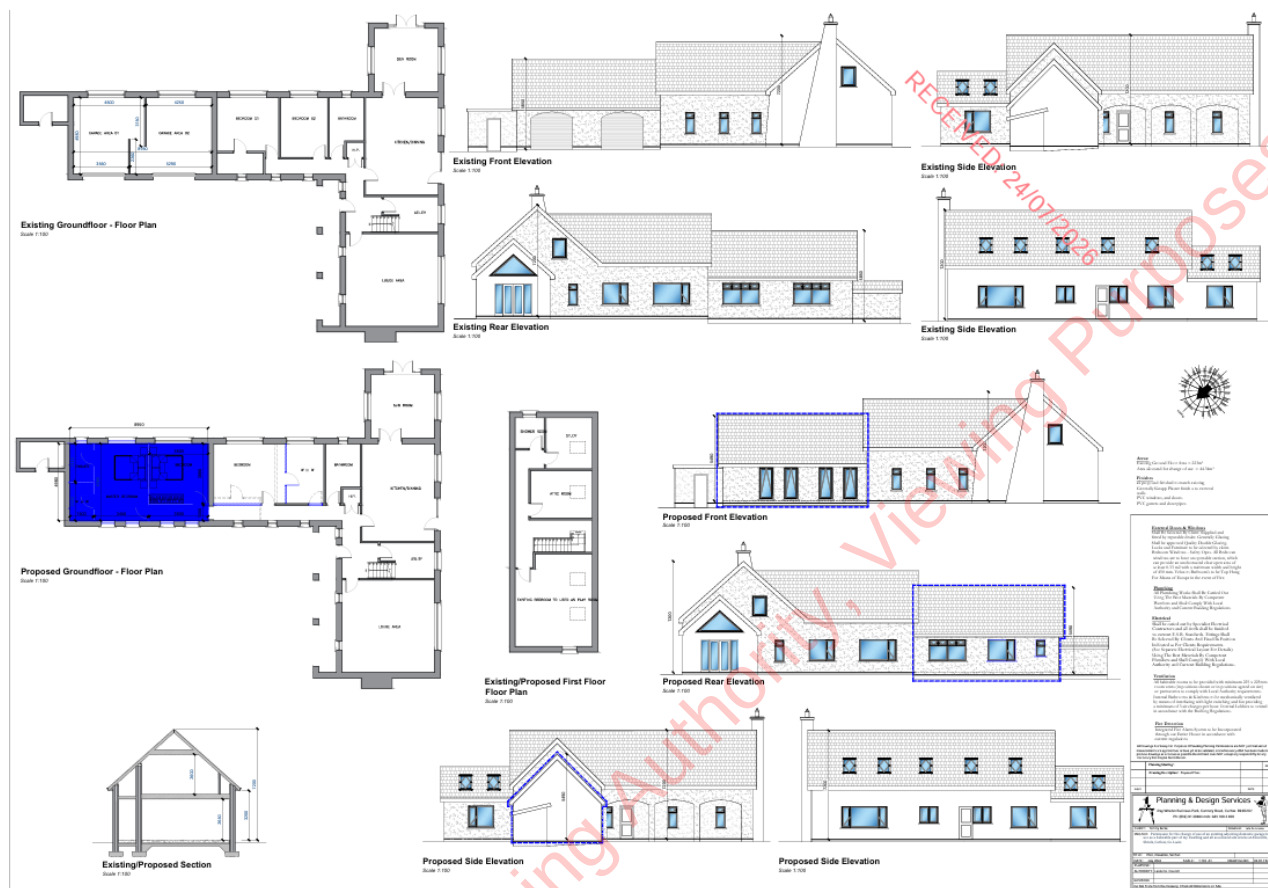


Figure 3: Proposed Design

Drainage

The site benefits from an existing connection to a private well water supply. The dwelling is served by an existing septic tank system. There is no proposal to increase the number of bedrooms within the dwelling in which case there would be no increased loading on the septic tank (the applicant is changing a first-floor bedroom to a playroom and a ground floor bedroom to a walk-in-wardrobe). Surface water is to be disposed of to ground to an on-site soakpit.

Access

The site is accessed from the L-7995-0 Local Secondary Road. There is no proposal to alter the existing access to the site.

Development Contributions

The proposed extension has a floor area of 44.34sqm which is ~~below~~ above the 40sq.m threshold as set out in the Councils adopted Development Contribution Scheme 2025-2031 for ancillary residential development (extensions). However, I note that this dwelling has been extended previously by 85sqm under planning file reference 19/463 which

comprised of a sunroom extension and first floor conversion. A reduction in the chargeable development contributions based on the initial 40m² was allowed in that case.
dk

Therefore, development contributions should apply to the 44.34sqm proposed under the current proposal.

Recommendation

It is recommended that Permission be Granted subject to the following conditions.

FIRST SCHEDULE

Having regard to the provisions of the Laois County Development Plan 2021 – 2027, it is considered that, subject to compliance with the conditions set out in the Second Schedule, the proposed development would not seriously injure the amenities of the area, would not be prejudicial to public health, would be acceptable in terms of traffic safety and would be in accordance with the proper planning and sustainable development of the area.

SECOND SCHEDULE

1. The development shall be carried out in accordance with plans and particulars received by the Planning Authority on 24/07/2026, except where conditions hereunder specify otherwise.

Reason: In the interest of the proper planning and sustainable development of the area.

2. The external finish of new work shall be consistent with details received on 24/07/2026, unless otherwise agreed in writing with the Planning Authority.

Reason: In the interests of proper planning, residential amenity and visual amenity.

3. The existing dwelling and the extension shall be jointly occupied as a single housing unit. The extension shall not be subdivided from the remainder of the dwelling nor sold or let as a separate dwelling unit. The overall dwelling shall be used for domestic-related purposes only, and not for any commercial, workshop, or other non-domestic use.

Reason: In the interest of clarity and to regulate the use of the development and in the interest of the proper planning and sustainable development of the area.

4. All surface water run-off from roofs, entrances and parking areas shall be collected and disposed of within the site to adequately sized soakpits, drains or adjacent watercourses. In particular, no such surface water run-off shall be allowed to flow onto the public roadway, public foul sewer or adjoining properties.

Reason: To prevent flooding of the public road, in the interests of traffic safety and in the interests of public health.

5. Any external lighting shall be cowled and directed away from the public roadway and adjoining properties.

Reason: In the interests of traffic safety and residential amenity.

6. Developer is required to consult with ESB regarding any overhead power line prior to the commencement of any work on this development.

Reason: In the interests of public safety, residential amenity and proper planning.

7. (a) During the construction stage of the proposed development, the developer shall comply with the document titled "Best Practice Guidelines for the Preparation of Resource & Waste Management Plans for Construction and Demolition Projects" published by the Environmental Protection Agency.

(b) During the development works, the developer is not to permit any material from the site to be spread or deposited along the public roadway. The developer shall be responsible for maintaining the adjoining public thoroughfare and properties in a neat, tidy and safe condition.

Reason: In the interests of the reduction and best practice management of construction waste from the proposed development, public health, pollution control and traffic safety.

8. (a) No part of the proposed development shall encroach, oversail or otherwise physically impinge upon any adjoining property save with the prior written agreement of the owner(s) thereof.

(b) All public and private property shall be adequately protected at all times particularly during demolition and construction works.

(c) Any damage caused to the adjoining public thoroughfare shall be made good at the developer's expense to the satisfaction of the Planning Authority.

Reason: In the interests of public safety, residential amenity and proper planning.

9. Foul effluent shall be discharged to the on-site septic tank drainage system which shall be of suitable design and capacity to cater for the loading thereto.

Reason: In the interests of pollution control and public health.

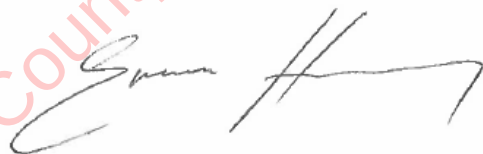
10. Prior to commencement of the development, a contribution shall be payable to Laois County Council, in accordance with the Council's Development Contribution Scheme 2025-2031 in respect of public infrastructure and facilities benefiting development in the area of the planning authority, and that is provided or that it is intended will be provided by, or on behalf of, the Council.

The amount of the development contribution is set out below and is subject to annual revision with reference to the Wholesale Price Index (Building and Construction), and penalty interest for late payment, in accordance with the terms of the Council's Development Contribution Scheme:

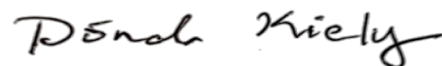
This Development is classified as Ancillary Residential as per the Councils adopted Development Contribution Scheme 2025-2031:

Ancillary Residential	Floor area	<u>Charge</u>	Total per Contribution
Transport and Roads Infrastructure	45	€9.00	€405.00
Social and Community Infrastructure, Regeneration and Amenities	45	€6.00	€270.00
Total Development Contributions			€675.00

Reason: It is considered reasonable that the developer should contribute towards the expenditure incurred or proposed to be incurred by Laois County Council in respect of the provision/improvement of public services/infrastructure benefiting development in the area of the planning authority.



Emma Hennessy
Executive Planner
11th September 2026



Senior Executive Planner, 11/09/2026

Donal Kiely
Senior Executive Planner

DB 14/09/2026

Laois County Council Planning Authority, Viewing Purposes Only!

ANNEX 1

APPROPRIATE ASSESSMENT SCREENING REPORT

Laois County Council Planning Authority, Viewing Purposes Only!

**APPROPRIATE ASSESSMENT SCREENING REPORT
AND
CONCLUSION STATEMENT**

(A) Project Details			
Planning File Ref	26/60510		
Applicant name	Tommy Burke		
Development Location	Shrule, Co Laois		
Site size	0.42ha		
Application accompanied by an EIS (Yes/NO)	No		
Distance from Natura 2000 site in km	River Barrow and River Nore SAC – 550m east of the subject site		
Description of the project/proposed development			
change of use of an existing adjoining domestic garage to use as a habitable part of dwelling and all associated site works			
(B) Identification of Natura 2000 sites which may be impacted by the proposed development			
			Yes/No
			If answer is yes, identify list name of Natura 2000 site likely to be impacted.
1	Impacts on sites designated for freshwater habitats or species. Sites to consider: River Barrow and River Nore SAC	<i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i>	No
2	Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath.	<i>Is the development within a Special Area of Conservation whose</i>	No

	<u>Sites to consider:</u> River Barrow and River Nore SAC	<i>qualifying interests include wetland habitats (bog, marsh, fen or heath)</i>	
3	Impacts on designated terrestrial habitats. <u>Sites to consider:</u> River Barrow and River Nore SAC	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	No
4	Impacts on birds in SPAs <u>Sites to consider:</u> River Nore SPA	<i>Is the development within a Special Protection Area?</i>	No

Conclusion:

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		
Having regard to the proximity of the nearest SAC/SPA and given the nature and extent of the proposed development, with no direct connections to the hydrology of the SAC/SPA, it is not considered there would be potential for significant effects on the Natura 2000 network.		
Name:	Emma Hennessy	
Position:	Executive Planner	
Date:	11/09/2026	